COMMONWEALTH OF MASSACHUSETTS

SUFFOLK, SS.

SUPERIOR COURT DEPARTMENT OF THE TRIAL COURT

DOUGLAS RUDISCH, individually and as Trustee of the 1166 Washington Street Unit V704/V706 Nominee Trust,

Plaintiff,

ν.

BOARD OF APPEAL OF THE CITY OF BOSTON, and ALEXIS LADD, ROBERT A. WELLS, and CHRISTIANE K. DONAHUE as TRUSTEES of THE COLUMBIAN BUILDING CONDOMINIUM TRUST,

Defendants.

Docket No.: 23-12620

2023 JUN - 1 P 1: 11

ACTING CLERK'S OFFICE

COMPLAINT

In accordance with Chapter 665 of the Acts of 1956, as amended (the Boston Zoning Enabling Act), § 11 Plaintiff Douglas Rudisch, individually and as Trustee of the 1166

Washington Street Unit V704/V706 Nominee Trust ("Rudisch") hereby appeals a decision of the City of Boston Board of Appeal (the "Board"), granting zoning relief to the Trustees of the Columbian Building Condominium Trust entered on May 12, 2023 (the "Decision") for the property located at 1154-1160 Washington Street, Boston, 02118 (the "Property"). A true and correct copy of the Board's Decision is attached hereto as Exhibit 1.

THE PARTIES

1. Douglas Rudisch is an individual who owns and resides at 1166 Washington Street, #v704-706, Boston, Massachusetts. He is a Trustee of the 1166 Washington Street Unit

V704/V706 Nominee Trust. Mr. Rudisch is a direct abutter to the Property, and he is aggrieved by the zoning relief granted by the Board to the Trustee Defendants for the construction of a roof deck or roof decks at the Property.

- 2. Defendant Board of Appeal for the City of Boston (the "Board") was established under § 8 of the Enabling Act to hear zoning appeals for the City of Boston and has a principal office located at 1010 Massachusetts Avenue, 4th Floor, Boston, MA 02118.
- 3. Defendant Alexis A. Ladd ("Ladd") is a Trustee of The Columbian Building Condominium Trust (the "CBC Trust") for the property located at 1154-1160 Washington Street. Ladd is an individual who owns the property located at 1154 Washington Street, Unit 6. The underlying zoning relief, Permit # ALT 1364858, was applied for on behalf of the CBC Trust.
- 4. Defendant Robert A. Wells ("Wells") is a Trustee of the CBC Trust. Wells is an individual who owns the property located at 1154 Washington Street, Units 8 and 9. The underlying zoning relief, Permit # ALT 1364858, was applied for on behalf of the CBC Trust.
- 5. Defendant Christiane K. Donahue ("Donahue") is a Trustee of the CBC Trust.

 Donahue is the Clerk and Treasurer of the Boston City Lights Foundation, Inc., the owner of the non-residential unit of the Colombian Building Condominium. Upon information and belief,

 Donahue has a residential address of 134 Donahue Drive, Northfield, VT 05663. The underlying zoning relief, Permit # ALT 1364858, was applied for on behalf of the CBC Trust.

<u>JURISDICTION</u>

6. The Court has jurisdiction over this matter under § 11 of the Enabling Act, and G.L. c. 249, § 5.

FACTUAL ALLEGATIONS

The Request for Zoning Relief

- 7. The Property is located at 1154-1160 Washington Street, Boston, in the South End Neighborhood Zoning District and Neighborhood Development Area (NDA) subdistrict.
- 8. On or about July 21, 2022, the Defendant Trustees, through their agent, Gavin Walsh, filed an application for a permit for the purpose of "adding a roof deck" to the Property.
- 9. The permit was denied because the addition of roof decks violated Article 64 Section 34 of the Boston Zoning Ordinance ("BZO").
- 10. On or about, August 18, 2022, the Boston Inspectional Services Department issued a Zoning Code Refusal Notice that identified two violations of Article 64, § 34, Restricted Roof Structure Regulations: (1) access via head house; and (2) height exceeded aggregate of occupied roof > 300sf.
- 11. The Zoning Code Refusal Notice was updated on or about October 26, 2022. A true and correct copy of the Zoning Code Refusal Notice is attached hereto as Exhibit 2.
- 12. According to a clarification on the Zoning Code Refusal Notice, the purpose of the application was stated as: "Adding a 887sf COMMON roof deck with main access from the existing headhouse stair as well as construct a 155sf private roof deck connected via a guarded walk way for existing penthouse per plans provided. *NO AAB access proposed" (emphasis in original).
- 13. The Defendant Trustees, through counsel, appealed the zoning code refusal to the Board of Appeal.
- 14. Defendants' appeal sought a conditional use permit for the addition of the roof decks identified in a set of plans submitted with the application. A copy of the plan set submitted with the application is attached hereto as Exhibit 3.

- 15. After receiving the zoning code refusal, Defendants, through counsel, represented to Kimberly Crucioli, the South End and Bay Village Liaison for the City of Boston Office of Neighborhood Services, that the plan for a 155 square foot private roof deck had been "abandoned," and that revised plans would be submitted.
- 16. Defendants made the same representation to abutters during a meeting with abutters that the private deck plan had been abandoned.
- 17. Despite their representations to the City and to abutters, Defendants did not submit revised plans.
 - 18. The Board scheduled a virtual public hearing on the appeal on March 28, 2023.
- 19. Rudisch and at least one other neighbor opposed the relief requested by Defendants.
- 20. The City of Boston Office of Neighborhood Services acknowledged that there was opposition to the project, took no position on the appeal, and deferred to the Board.
- 21. During the hearing, Rudisch was provided only a minimal amount of time, less than ninety seconds, to express opposition to the project after the applicants' presentation. Following his comment, which was interrupted, the Board allowed multiple rebuttals from the applicants but did not allow further comment from Rudisch, who had asked to respond.
- 22. Prior to the hearing, Rudisch and at least one other abutter submitted letters in opposition to the appeal. Upon information and belief, the Board did not review the opposition letters before acting on the appeal.
- 23. As relief for the zoning violations, the Trustee Defendants sought a conditional use permit to construct the roof decks.

- 24. On March 28, 2023, the Board voted 7-0 in favor to grant the appeal, annul the Zoning Code Refusal, and order the Building Commissioner to grant a permit in accordance with the Board's decision. The Board added a proviso for BPDA design review.
- 25. The Decision was filed with the Inspectional Services Department on May 12, 2023.
- 26. The Decision should be annulled because it exceeds the authority of the Board, is arbitrary and capricious, and is not based upon a tenable legal ground.

The Proposed Roof Decks

- 27. The Trustee Defendants propose to construct a common roof deck 887 square feet in area as well as a private roof deck 155 square foot in area connected by a walkway.
- 28. According to the plans, the Common Roof Deck will have an occupancy of fortynine people.
- 29. Defendants intend to install a gas fire pit, gas grill, multiple tables, and multiple seating areas on the Common Roof Deck.
- 30. Based on the high occupancy limit and design plans, Defendants intend to use the Common Roof Deck for functions, parties, and entertainment for the benefit of the residential unit owners of 1154-1160 Washington Street.

The Board Did Not Have the Authority to Grant a Conditional Use Permit

- 31. Defendants seek zoning relief for proposed roof deck structures that exceed 1,000 square feet in aggregate area (887 square foot common deck plus 155 square foot private deck).
- 32. Article 64, § 34 of the BZO provides that an open roof deck may be erected on the main roof of a building with a flat roof provided that four factors are satisfied. One of those factors concerns the total height of the building. Specifically, Article 64, § 34 states that an open

roof deck may be erected provided that: "(b) the total height of the building, including such deck, does not exceed the maximum building height allowed by this Article for the location of the building."

- 33. The maximum building height allowed in the NDA subdistrict of the South End Neighborhood Zoning District is 70 feet. *See* BZO Art. 64, §§ 17, 19, and Table F.
- 34. Article 64, § 34 provides that "Roof structures, headhouses, and mechanical equipment normally built above the roof and not designed or used for human occupancy shall be included in measuring the building height if the total area of such roof structures..." exceeds 330 square feet in the aggregate.
- 35. The Board acknowledges in the Decision that the aggregate of occupied roof by the project is greater than 330 square feet. *See* Decision at page 2.
- 36. As measured in accordance with BZO Article 64, § 34, the height of the building at 1154-1160 Washington Street is at least 78 feet, which exceeds the maximum building height. See Plan Sheet SELDC2, Exhibit 3 at page 10 (height of existing head house).
- 37. Because the total height of the building exceeds the maximum building height allowed, the Board lacked the authority to grant a conditional use permit to erect the roof decks.
- 38. The Defendants did not seek and are not entitled to receive any other zoning relief for the project.

The Proposed Roof Decks Will Result in Harm to Rudisch

- 39. The building at 1154-1160 Washington Street is physically connected to the building at 1166 Washington Street, where Rudisch lives.
- 40. Rudisch owns the top floor unit at 1166 Washington Street, which includes a patio on the roof of 1166 Washington Street.

- 41. The proposed communal roof decks at the Property will be located immediately adjacent to Rudisch's unit, and visible both from Rudisch's patio and from inside his unit.
- 42. Attached hereto as Exhibit 4 are true and correct photos of the view of the proposed roof deck areas from (1) Rudisch's patio and (2) Rudisch's dining room.
 - 43. The proposed communal roof decks will diminish Rudisch's privacy.
- 44. Use of the proposed communal roof decks at the Property for parties and functions will result in noise levels, including from amplification of music, that violate the Regulations for the Control of Noise in the City of Boston and will interfere with Rudisch's ability to use and enjoy his property.
- 45. Use of fire pits and gas grills on the roof of the Property will introduce open flame on the roof and increase the risk of fire to Rudisch's property.
- 46. The construction and use of the proposed communal roof decks will result in a diminution of value of Rudisch's property and will substantially and unreasonably interfere with the use and enjoyment of Rudisch's property.

The Board Erred in Granting a Conditional Use Permit

- 47. In addition to lacking authority to grant a conditional use permit, the conditions for granting a conditional use permit under BZO Article 6, §6-3 were not met.
- 48. The Property at 1154-1160 Washington Street is not an appropriate location for the construction of a roof deck.
- 49. The building at 1154-1160 Washington is connected to the building at 1166 Washington and the proposed use of the roof decks will adversely affect the neighborhood.
 - 50. The use of the roof decks will cause irreparable harm to Rudisch.

- 51. Defendants' intended use of the communal roof decks, including the Common Roof Deck for functions to entertain up to 49 people with fire pits, gas grills, and music will create a nuisance.
 - 52. It was error for the Board to grant a conditional use permit to the Defendants.

COUNT I: ANNUL THE DECISION UNDER § 11 OF THE ENABLING ACT

- 53. Plaintiff repeats and incorporates herein the allegations contained in the preceding paragraphs.
- 54. The Trustee Defendants' proposed roof deck project violates Article 64, §34 of the BZO.
- 55. The height of the building at 1154-1160 Washington Street exceeds the maximum building height allowed in the NDA subdistrict of the South End Neighborhood Zoning District.
- 56. The Board lacked the authority to grant a conditional use permit for the construction of a roof deck.
- 57. In addition, the conditions for granting relief under § 6-3 of Article 6 were not met.
- 58. The proposed roof decks include a Common Roof Deck 887 square feet in area with an occupancy of 49 people.
- 59. Defendants intend to install fire pits and gas grills on the Common Roof Deck and use it for parties and functions.
- 60. Plaintiff is a direct abutter and an aggrieved party who will be harmed by the project, including but not limited to diminished privacy and increased noise that will substantially and unreasonably interfere with his ability to use and enjoy his property.

- 61. Plaintiff's harms are specific and particular to him and are not harms in general to the community at large.
- 62. In approving the application and granting a Conditional Use Permit, the Board acted in an arbitrary and capricious manner.
 - 63. The Decision exceeds the authority of the Board and should be annulled.

REQUEST FOR RELIEF

WHEREFORE, Plaintiff respectfully requests that this Court enter judgment as follows:

- (A) enter judgment for the Plaintiff;
- (B) annul the Decision; and,
- (C) order all other relief that this Court deems just and appropriate.

Respectfully submitted,

Plaintiff,

DOUGLAS RUDISCH, individually and as Trustee of the 1166 Washington Street Unit V704/V706 Nominee Trust,

By his attorney,

Daniel J. Pasquarello (BBO No. 647379)

PASQUARELLO | FINK | HADDAD LLC

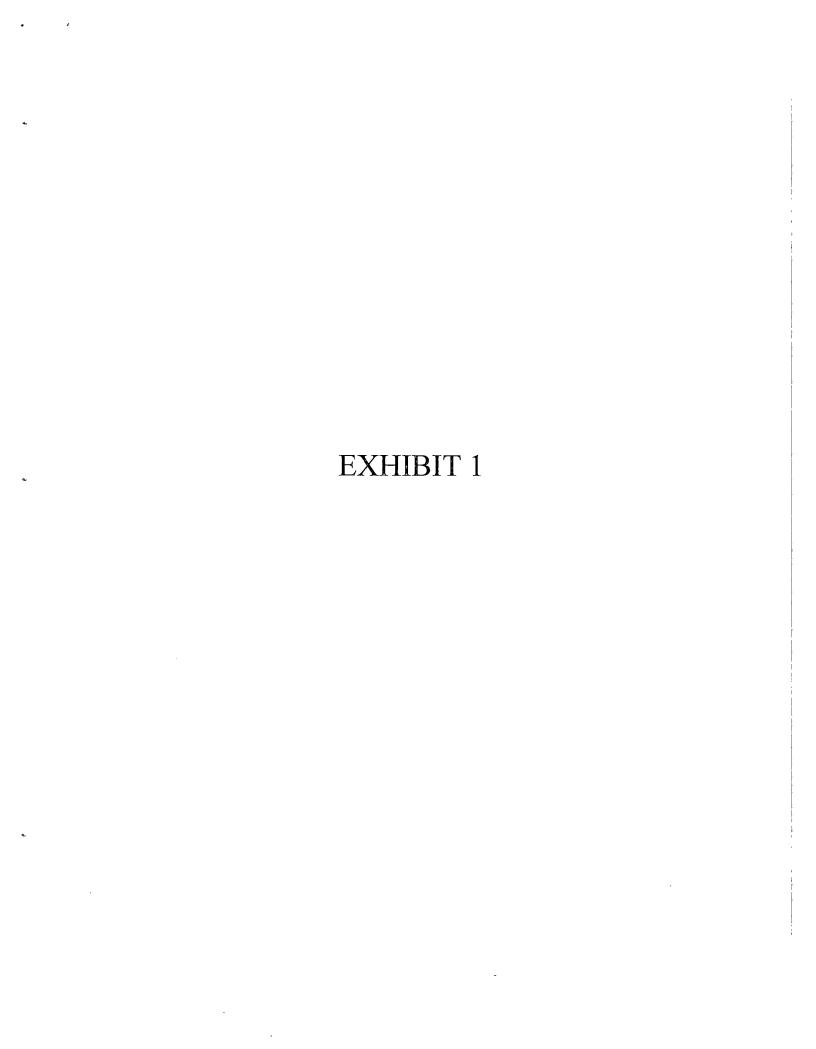
185 Devonshire Street, Third Floor

Boston, MA 02110 Tel: 617-963-0042

Fax: 617-505-1571

dpasquarello@pasqfinklaw.com

Dated: June 1, 2023





NOTICE OF DECISION
CASE NO. BOA 1420860
PERMIT #ALT1364858
APPEAL SUSTAINED
WITH PROVISOS

In reference to the appeal of

Marc LaCasse

Concerning the premises located at

1154-1160 Washington Street, Ward 03

for relief from the provisions of the Zoning-Act, Ch. 665, Acts of 1956, as amended, in this specific case, I beg to advise that the petition has been granted.

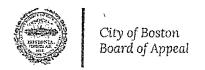
The Board's decision has been filed in the office of the Commissioner of the Inspectional Services Department, 1010 Massachusetts Avenue, Fourth Floor, Boston, MA 02118, and is open for public inspection. A copy of the decision is available on the Board's website at https://www.boston.gov/departments/inspectional-services/zoning-board-appeal-decisions. The decisions are organized by filing date.

Date of filing of this decision with the Inspectional Services Department was May 12, 2023.

Please be advised, this decision of the Board has been reviewed and signed electronically by the signing Board Members. The addition of the certification of the Executive Secretary to the signature page attests that each Board Member who has signed this decision electronically has had an opportunity to review the written decision and has given his or her express written permission to the Executive Secretary to sign this decision electronically.

FOR THE BOARD OF APPEAL

/s/ Javier Salas
Javier Salas
Executive Secretary



March 28, 2023 DATE

March LaCasse

to provide relief from the terms of the Boston Zoning Code, under Statute 1956, Chapter 665, as amended, Section 8,

at premises: 1154 - 1160 Washington Street, Ward - 03

Appellant requires relief from the Boston Zoning Code (see Acts of 1956, c. 665) in the following respect: Variance, Conditional Use Permit, and /or other relief as appropriate.

<u>Violation</u>	Violation Description	Violation Comments
Art. 64 Sec. 34	Restricted Roof Structur Regs	Access via head house
Art. 64 Sec. 34	Restricted Roof Structur Regs	Height exceeded- Aggregate of occupied roof is >300sf

Purpose: Adding a roof deck.

Clarification: Adding a 887sf COMMON roof deck with main access from the existing head house stair as well as construct a 155sf private roof deck connected via a guarded walk way for existing penthouse per plans provided. NO AAB access proposed.

In his formal appeal, Appellant states briefly in writing the grounds of and the reasons for his appeal from the refusal of the Building Commissioner, as set forth in papers on file numbered BOA-1420860 and made a part of this record.

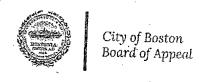
In conformity with the law, the Board mailed reasonable notice of the public hearing to the Appellant and to the owners of all property deemed by the Board to be affected thereby, as they appeared on the then most recent local tax lists, which notice of public hearing was duly advertised in a daily newspaper published in the City of Boston, namely:

THE BOSTON HERALD on Tuesday, March 07, 2023

The Board reviewed relevant documents, photographs, and other submissions and conducted other reviews as necessary to determine the location, layout, and other characteristics of the Appellant's land, the scope of its proposal, and the issues presented by the appeal. The Boston Planning and Development Agency was sent notice of the appeal by the Building Department and the legal required period of time was allotted to enable the BPDA to render a recommendation to the Board, as prescribed in the Code.

After hearing all the facts and evidence presented at the public hearing held on Tuesday, March 28, 2023 in accordance with notice and advertisement aforementioned, the Board finds as follows:

The Appellant appeals to be relieved of complying with the aforementioned terms of the Boston Zoning Code, all as per Application for Permit# ALT-1364858 and July 21, 2022 plans submitted to the Board at its hearing and now on file in the Building Department.



1154-1160 Washington St., Ward: 03 BOA1420860 Date of Hearing: March 28, 2023

Permit # ALT1364858

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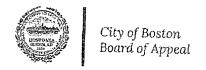
This appeal seeks a conditional use permit for the addition of a roof deck on an existing building by adding a 887 square foot common roof deck with main access from the existing headhouse stair and a 155 square foot private roof deck connected through a guarded walk way for the existing penthouse.

The appeal is necessary as the proposed project requires relief from the terms of the Boston Zoning Code (Code). The specific relief required in furtherance of the proposed project is as follows: (1) restricted roof structure access via head house under Article 64, Section 34; and (2) restricted roof structure height exceeded due to aggregate of occupied roof area being greater than 330 square feet under Article 64, Section 34.

The proposed project will allow the Appellant to have reasonable use of the premises by constructing a common roof deck with headhouse access and a private roof deck through a guarded walk way for the existing penthouse. Additionally, Appellant presents that these roof decks are for the use and enjoyment of the condominium building's residential unit owners. The project is located within the Neighborhood Development Area (NDA) zoning subdistrict of the South End Neighborhood, which makes this project an appropriate use of the lot and that will not adversely affect the community or create any detriment for abutting residents. For these reasons, the requested relief may be granted in harmony with the general purpose and intent of the Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

After the Petitioner filed the appeal, the Board, in conformity with applicable law, mailed reasonable notice of the public hearing to the Petitioner and to the owners of all property deemed by the Board to be affected thereby, as they appeared in the then most recent local tax list, which notice of a public hearing was duly advertised in a daily newspaper published in the City of Boston in accordance with applicable law. The Board held a public hearing on the Appeal on March 28, 2023.

The Zoning Code Refusal Letter, dated October 26, 2022, from which this appeal is taken, cites two violations of the Code provisions of Article 64-34 with violation comments (1) access via head house; and (2) height exceeded - aggregate of occupied roof is greater than 300 SF [the 300 number appears to be a typo as the code states 330; in any event, the proposed roof deck is 887 SF so this provision is applicable].



1154-1160 Washington St., Ward: 03 BOA1420860

Date of Hearing: March 28, 2023

Permit # ALT1364858

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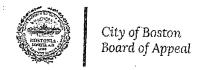
Appellant contends that on the first violation comment, the plans submitted show that the head house, through which access to the roof deck shall be achieved, is an existing structure. Appellant contends that there is an existing internal stair from the common area of the 6th floor of the building, which leads to the roof. Appellant contends that it is through this existing head house that the residents will access the common roof deck. Accordingly, Appellant contends that the head house will not damage the uniformity of height or architectural character of the immediate vicinity as it is already in existence.

Appellant also contends that on the second violation comment, the deck exceeds the threshold of 330 square feet such that it also requires a conditional use permit from the Board. Appellant contends that as the plans submitted show a large masonry parapet across the top of this historic building, the roof deck is not visible from any public way as shown on the plan sheets labeled SELDC 1 and SELDC 2. Accordingly, Appellant contends that on this basis the roof deck will not damage the uniformity of height or architectural character of the immediate vicinity.

At the hearing, representatives of the Mayor's Office of Neighborhood Services spoke on the community process of the project and deferred to the judgment of the Board. The Board received letters of support from abutters regarding the proposed roof deck. There was opposition voiced at the hearing from one abutter who expressed concern about noise and safety issues related to the roof deck use, but unrelated to the zoning issues. Additionally, there are letters of opposition on file with the Board. After consideration, the Board finds that the requested relief will have no negative impact on the surrounding area, and is in harmony with the general purpose and intent of the Code.

The Board of Appeal makes the following findings:

- a) The specific site is an appropriate location for such use;
- b) The use will not adversely affect the neighborhood;
- c) There will be no serious hazard to vehicles or pedestrians from the use;
- d) No nuisance will be created by the use; and



1154-1160 Washington St., Ward: 03

BOA1420860

Date of Hearing: March 28, 2023

Permit # ALT1364858

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e) Adequate and appropriate facilities will be provided for the proper operation of the use.

The Board is of the opinion that all conditions required for the granting of a Conditional Use Permit under Article 6, Section 6-3 of the Zoning Code have been met and that the varying of the terms of the Zoning Code as outlined above will not conflict with the intent and spirit of the Zoning Code.

Therefore, acting under its discretionary power, the Board (the members and substitute member(s) sitting on this appeal) voted to grant the requested Conditional Use Permit as described above, annuls the refusal of the Building Commissioner and orders him to grant a permit in accordance with this decision, with the following proviso, which, if not complied with, shall render this decision null and void.

APPROXED/AS TO FORM:

N.

Assistant Corporation Counsel

With this signature I certify that the signatories of this decision have given their express permission for electronic signature:

Javier R. Salas, Esq. Executive Secretary Board of Appeal PROVISO(S): 1) BPDA design review

/s/ Sherry Dong

Sherry Dong - Chair (Voted In Favor)

/s/ Norm Stembridge

Norm Stembridge - Secretary (Voted In Favor)

/s/ Giovanny Valencia

Giovanny Valencia (Voted In Favor)

/s/ Raheem Shepard

Raheem Shepard (Voted In Favor)

/s/ David Collins

David Collins (Voted In Favor)

/s/Hansy Better Barraza

Hansy Better Barraza (Voted In Favor)

/s/ Jeanne Pinado

Jeanne Pinado (Voted In Favor)





Boston Inspectional Services Department Planning and Zoning Division

1010 Massachusetts Avenue Boston, MA 02118 Telephone: (617) 635-5300

Michelle Wu Mayor

ZONING CODE REFUSAL

Marc A. Joseph Inspector of Buildings

GAVIN WALSH 21 STRATFORD RD WEYMOUTH, MA 02191

August 18, 2022

October 26,2022

Location:

1154-1160 WASHINGTON ST ROXBURY MA 02118

Ward:

03

Zoning District:

South End Neighborhood

Zoning Subdistrict:

NDA

Appl. #:
Date Filed:

ALT1364858

July 21, 2022

Purpose: Adding a roof deck

Clarification: Adding a 887sf COMMON roof deck with main access from the existing headhouse stair as well as construct a 155sf private roof deck connected via a guarded

walk way for existing penthouse per plans provided.

* NO AAB access proposed

YOUR APPLICATION REQUIRES RELIEF FROM THE BOARD OF APPEAL AS SAME WOULD BE IN VIOLATION OF THE BOSTON ZONING CODE TO WIT: CHAPTER 665, ACTS OF 1956 AS AMENDED:

Violation	Violation Description	Violation Comments
Art. 64 Sec. 34	Restricted Roof Structur Regs	Access via head house
Art. 64 Sec. 34	Restricted Roof Structur Regs	Height exceeded- Aggregate of occupied roof is >300sf

NOTE: Subject to Zoning variance approval this application shall require a code compliant set of drawings with AAB 521 CMR section 20 code regulations so that we may proceed with the building code review approvals.

*Building code review has been deferred at this time.

THIS DECISION MAY BE APPEALED TO THE BOARD OF APPEAL WITHIN FORTY-FIVE (45) DAYS PURSUANT TO CHAPTER 665 OF THE ACTS OF 1956, AS AMENDED. APPLICATIONS NOT APPEALED WITHIN THAT TIME PERIOD WILL BE DEEMED ABANDONED. IF YOU HAVE INQUIRIES REGARDING THE NEIGHBORHOOD PROCESS AND PUBLIC PARTICIPATION, PLEASE CONTACT THE MAYOR'S OFFICE OF NEIGHBORHOOD SERVICES AT 617-635-3485. For more information visit boston.gov/zba-appeal.

Francesco D'Amato frank.damato@boston.gov / (617)961-3265 for the Commissioner

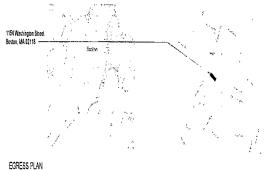
Refusal of a permit may be appealed to the Board of Appeal within 45 days. Chapter 802, Acts of 1972, and Chapter 656, Acts of 1956, Section 19.



1154 WASHINGTON STREET ROOF DECK

VE PERMIT SET | 12.10.2021

LOCATION MAP



DRAWING LIST .				
000	COVER SHEET			
A1.1	EXISTING AND DEMOLITION PLAN			
A1,2	ROOF DECK PLAN			
A3.1	SECTIONS & ELEVATIONS			
A5,1	TYPICAL ROOF DECK DETAILS			
A5.2	TYPICAL ROOF DECK DETAILS			
S1,0	ROOF DECK FRAMING PLAN			
SELDC1	LANDMARKS DIAGRAM NORTH			
SELDC2	LANDMARKS DIAGRAM SOUTH			
SP.1	ROOF DECK PEDESTAL SPECIFICATIONS			



- EXISTING FIRE ESCAPE **EGRESS** DECK PENTHOUSE 24 35"|180 EXISTING STAIR - NEW GATE WITH CLOSER

LIFE SAFETY LEGEND:

ROOF DECK; 887 SF POSTED OCCUPANCY AS MIXED TABLES AND CHAIRS NOT IN CONTRACT

OCCUPIABLE EGRESS AREA

ZONING & CODE SUMMARY

SCOPE OF WORK: NEW ROOF DECK AT EXISTING ROOF LEVEL. DECK WILL BE ACCESSED VIA EXISTING STAIR HEAD HOUSE. TWO MEANS OF EGRESS PROVIDED VIA STAIR

COURDON SEMEMON:
The building and poject are subject to the zoning code requirements for the South End regisherhood district the maximum height of the building and proposed roof clock in 69-11" measured from the adjacent scheeck!. The trickness of the clock in 69-11" measured from the adjacent scheeck!. The trickness of the clock in 69-11" measured from the adjacent scheeck!. The trickness of the clock in 69-11" measured from the adjacent scheeck!. The trickness of the clock in 69-11" measured from the adjacent scheeck!. The trickness of the clock in 69-11" measured from the adjacent scheeck.

APPLICABLE CODES

BUILDING CODE: 780 CMR - MASSACHUSETTS STATE BUILDING CODE - NINTH EDITION; WITH CHAPTER 34 (EXISTING BUILDING)

STRUCTURAL CODE: 780 CMR - MASSACHUSETTS STATE BUILDING CODE - NINTH EDITION

FIRE CODE: 527 CMR 1.00: MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE

ELECTRICAL CODE: MFPA 70-2017 WITH 527 CMR CHAPTER 12 MASSACHUSETTS ELECTRICAL CODE AMENDMENTS

760 CMR - MASSACHUSETTS STATE BUILDING CODE - NINTH EDITION, CHAPTER 13: 26/5 INTERNATIONAL ENERGY CONSERVATION CODE WITH MASSACHUSETTS AMENDMENTS OR ASHRAE 90, 1-20/13 WITH MASSACHUSETTS AMENDMENTS OR ASHRAE 90, 1-20/13 WITH MASSACHUSETTS AMENDMENTS

COEE SUMMARY (SEE CODE REPORT FOR FULL NARRATIVE)

EGRESS:

two means of agress; one through existing head house and one through existing fire escape which will be modified to eccount for

ENERGY CODE:

The occupant load shall not exceed 49 persons. A posted sign shall be used to indicate occupancy limits below required Place of Assembly classification.

STRUCTURAL:

The proposed roaf deck must comply with 780 CMR Chapter 16 for structural design.

Per 521 CMR 10.1, accessibility requirements for public use and common use spaces in midiple dwellings do not apply to existing buildings with fewer than 12 dwelling units

1154 WASHINGTON ST BOSTON MA 02118

BOND WORTHINGTON ARCHITECT 110A INMAN ST CAMBRIDGE MA 02139

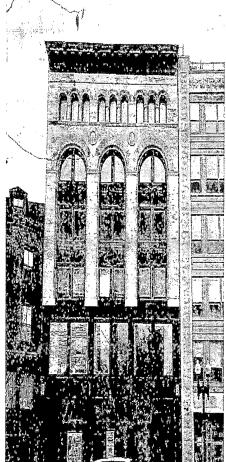
Description

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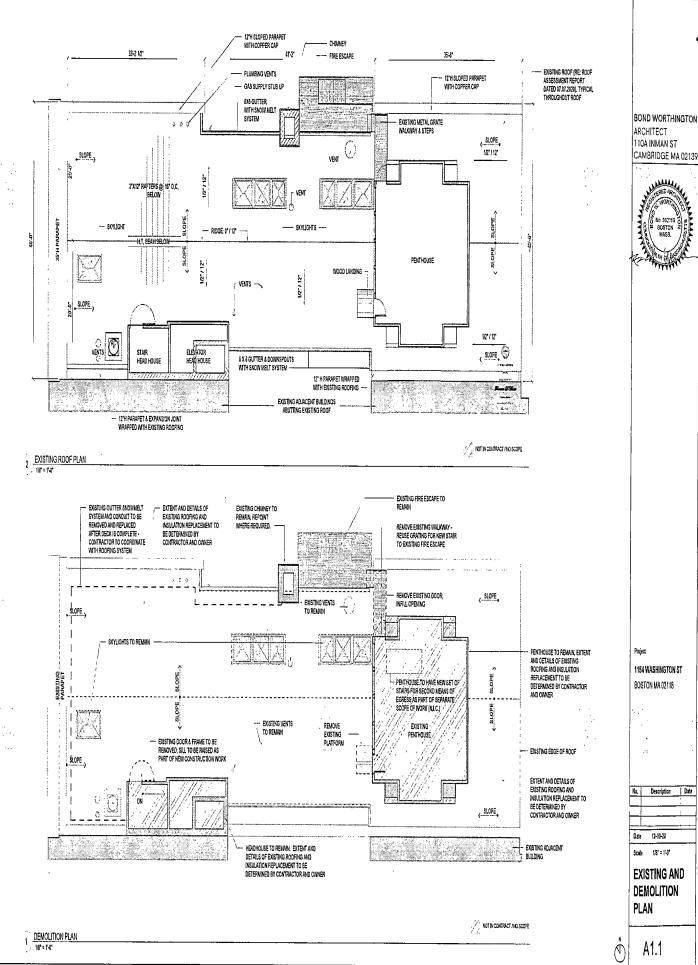
As indicated Scale

COVER SHEET

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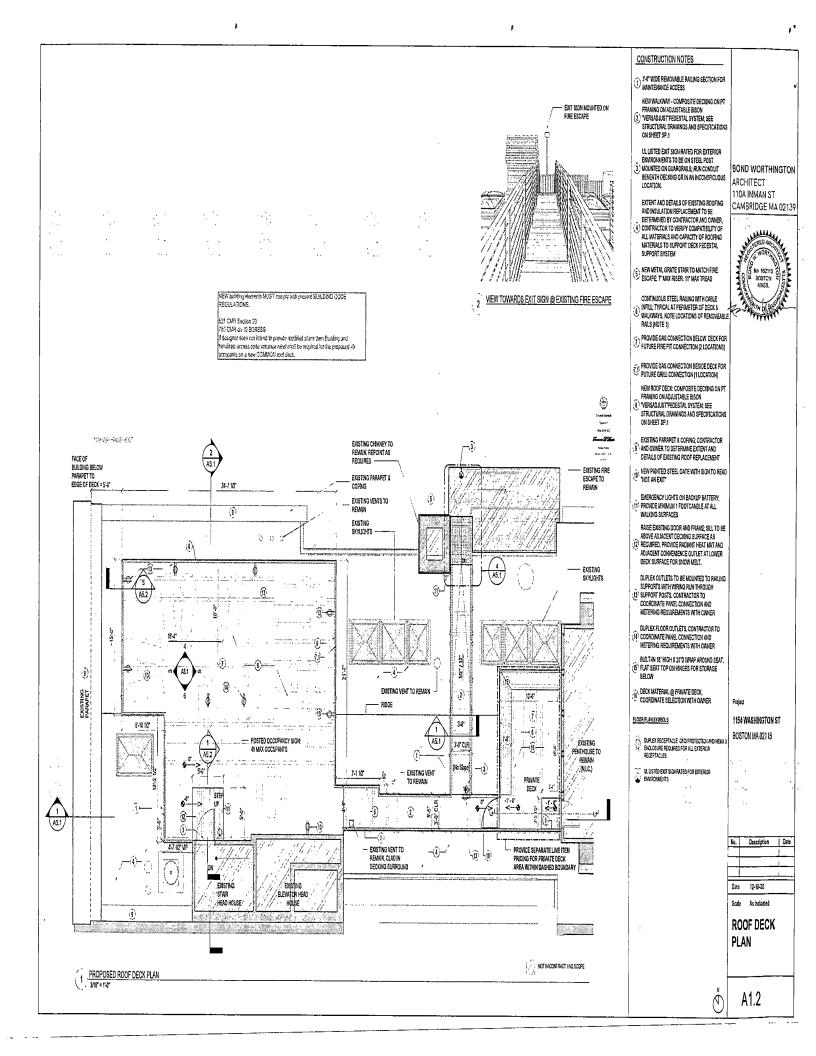


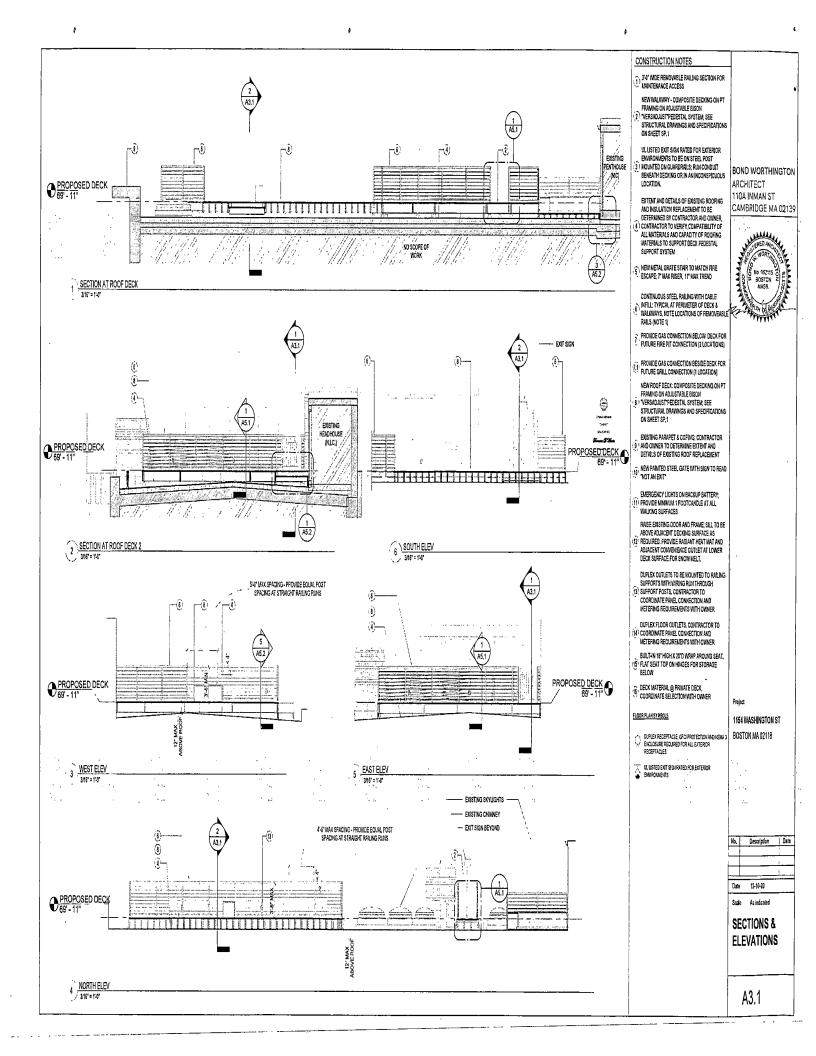
HEADHOUSE AND EXISTING FIRE ESCAPE TO REMAIN

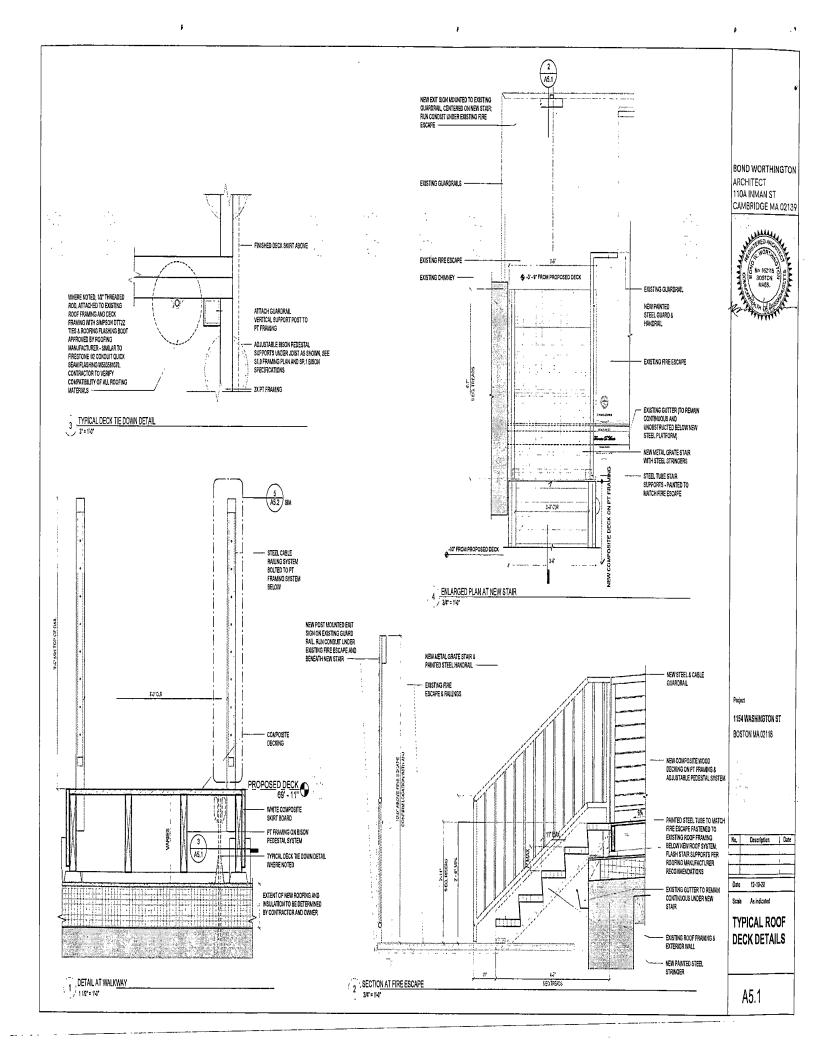


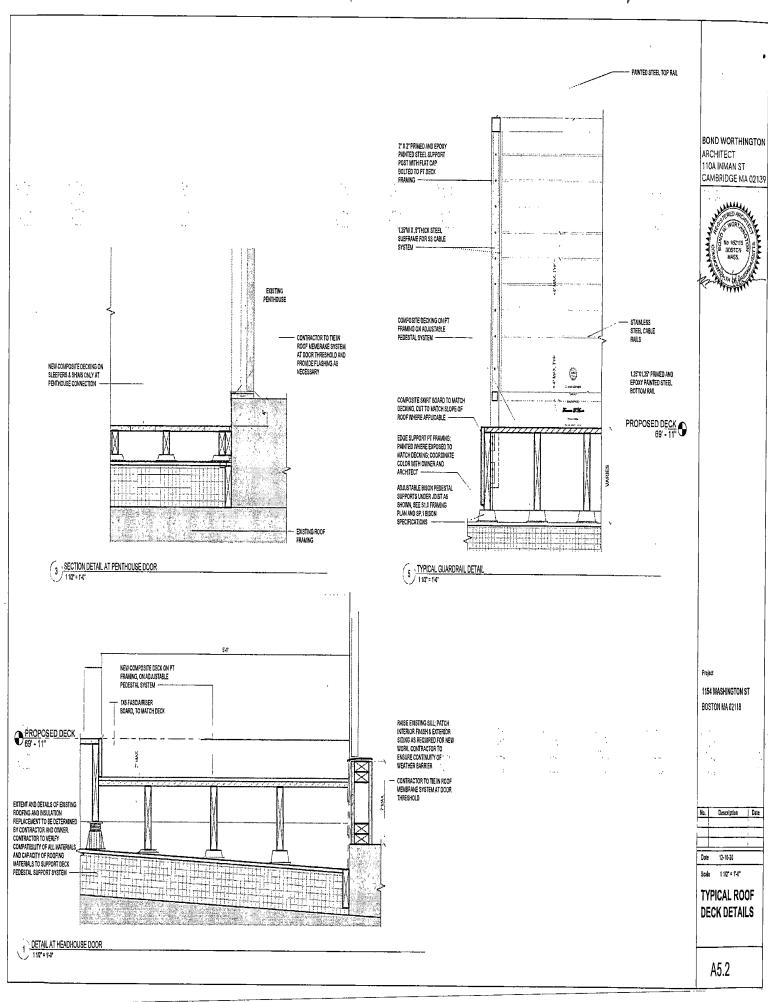
BOND WORTHINGTON



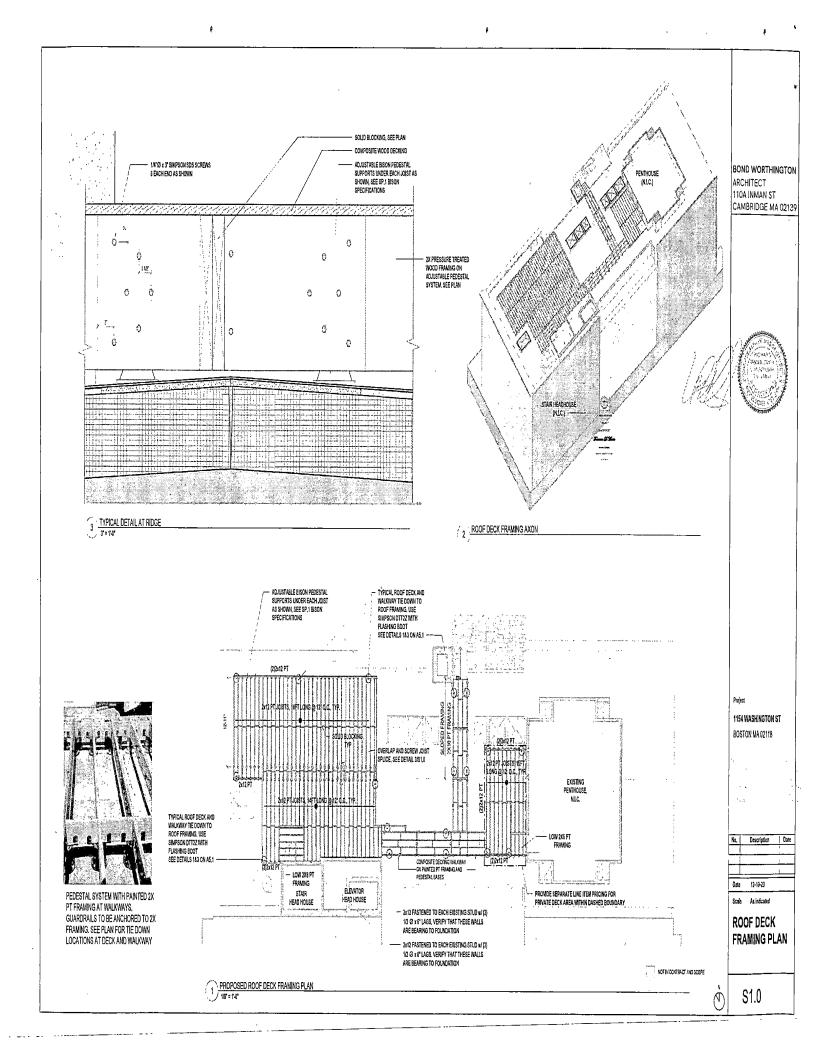


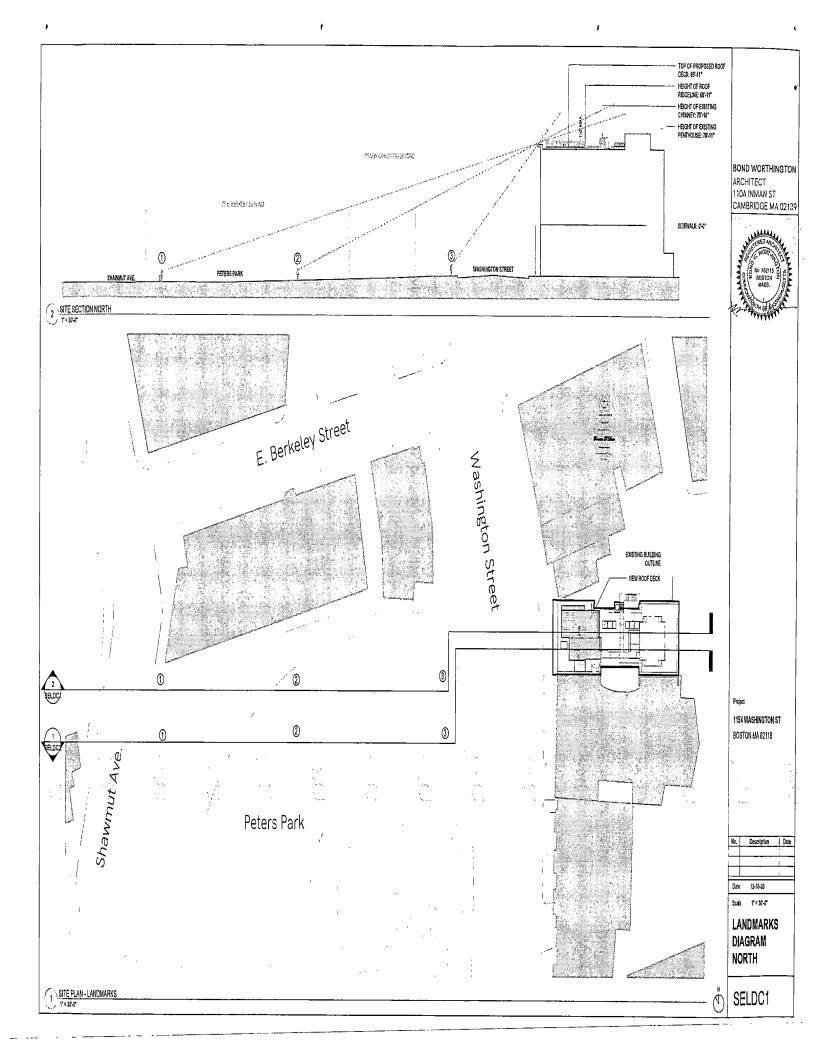








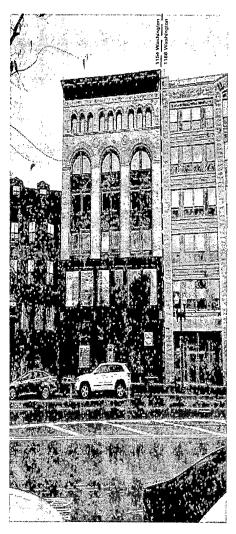




APTRASA Austraction, Prodiferentiers, head courses to historic machenical equipment moments between the roof and not dissigned outset for human company shall be historied in research, the holding height if the total area of such not structures, head-course, and important expectant accessful in the aggregate (a) 3.0 square lend, if the sold root area of the building is 3.00 square lend or lessy or this particular of the building of all the building in distinct access in the sold root area of the building in distinct access and the sold root area is greater than 3.00 square lend at the SAR Access will head flower.

"Buffeling code is with here been deferred at this time \$21 (200 Cuce cumbiners mg. 170 (CAP 2011) (BC on in, organis efficient mg. \$21 (CAP code combiners 189 Chapter 5-Vhapter 7-Fire recolations rating of structural members

SITE SECTION SOUTH



PROPOSED DESIGN IS NOT VISIBLE FROM THE STREET; NO MODIFICATIONS ARE PROPOSED TO EXISTING CORNICE OR EXISTING FACADE

2 VIEW FROM STREET TOP OF NEIGHBORING PENTHOUSE TOP OF PROPOSED ROOF (1166 WASHINGTON); 78'-0" +/-DECK: 69"-11" --HEIGHT OF ROOF RIDGELINE: 68'-11" HEIGHT OF EXISTING TOP OF NEIGHBORING MECHANICAL PENTHOUSE (1166 WASHINGTON): 92-4" +/-HEIGHT OF EXISTING SIDEVVALK: 0"-0" 2 3 WASHINGTON STREET PETERS PARK SHAWMUT AVE

BOND WORTHINGTON ARCHITECT 110A INMAN ST CAMBRIDGE MA 02139



roject

1154 WASHINGTON ST Boston Ma 02118

No, Description Date

Date 12-10-20 Scale As indicated

LANDMARKS DIAGRAM SOUTH

SELDC2

Anantemente Popus 701 Osago Street Unit 120 Detver CO 83204 www.brsce.p.com

Phone 303-892-0480 Tcll Free 803-333-4234 Fax 303-825-5968

The Sison Versoqual (V-Scenss edystatics protested line recornes heights from 2 k to 36 inches, has a 1200 pound weight beaming capacity (97.3), and creates built in sizon, compensation from 0 - k hick per first sizon. It is not sold to be considered to the control of the con

Versadjust V-Series Specification SECTION 065200 -- Plastic Structural Assemblion

PART 1 GENERAL

1.1 SECTION INCLUDES Versalijust Alijusiskija Pe Fixed Hooght Pedestais Bison Joist Too

1.2 RELATED SECTIONS Section 057313 - Composite Structural Decking Section 075060 - Monitorne Routing Section 077248 - Roaf Vrahkways

1.3 SUBMITTALS

nit under provisions of Section 813300.

- acumate more provisions or Section of 13340 febres on each populat to be used, including:

 Proportion of instructions and moretimendations
 Strange and National requirements and recommendations.
 Institution methods.
- c
- To loss return or motivos. Shipp Drawings within shipp crowings detailing the institution methods. Countriate placement with locations need on the Contract Drawings. Fire Ansistance Ratings: As required for extendo pedestal supported direct system by the presiding conference. п
- Mired Upon Resings: As required for extensor an demonstra predictal authorities decid systems by the presenting ŗ.

1.4 QUALITY ASSURANCE

- ALTY ASSISTANCE

 Handwardum Christiand, 44 pinkary products specified in this violation will be supplied by a single branchardum of his handwardum Christian and handwardum of his file product production of his file and handwardum of his file production of his file production

1.5 DELIVERY, STORAGE, AND HANDLING

- NERTY, SILVANGE, AND HARLINGU Lespect all delivered materials to insure they are undamaged and in good condition. Deliver and stem them productable and system components with labels listed and legible. Stone Bloon products in an enriclated or covered area protected from the elemental est son conditions whom

30105

- Eight (8) (3 such (13 men) diameter holes for BB-PEGS.
 Compatible with LDa slope compensation (soil pagara) dola with LD4 stope compensation (sold peparately)
- istal Top Details:
- Diamoto: 6 inches (152 mm) x 5/32 inch (4 mm) (hick plate.
- Boarng Sudace Area, 28.3 er (19.) cm²). Eight (8) 3/8 inch (9.6mm) dismoler holes for drainage and/or mechanical attactment

2.3 BASE LEVELER DISKS

- Model CDP Provide beneath perfectable, mails opportunately \$16 to 75 inches to protestal height, consesses table benefit graftion area to 50,3 in \$125 cm², and disease to 7, to 1 and per fect stope compressation. Samps 11 km for perform coch A sall for the 10 (\$100 cm; op to seed made a models* "14% as and as (\$100 54 in \$10 cm; op to 1 inch of sopp compressation; DSS are not recommanded for use under \$100 55 inch 10 cm.).
- tals include a Model VB Integral Base Leveler Disk (not sold separately) that
- Activities of the 2 multiple from some updates of multiple passes overest that, then some separate components for 6 to 2 multiple from some updates and some some updates and some first for 5 multiple from the first fight Dansity Copolymer Polymorp/tenn. Bison 8-7-P-2015. Comparts 2019, post-industrial Interpolation materials.

- Model B11, Paroble Solen 1916 loval (1 Smm)
 Use ray more than 4 strings per polyests; if using a segment, actions it to the podestal with construction schoolsing. Ensure the adolesile disease not contact the troofing monithrane. Material: Thermoclastic Elastomer
- Model PS I: Rind Poly Strims (48 inch (3.175mm)
- November of the Parkins, if selfing a segment, addres it to the pedestal rate construction soft-nive.
 Entered the advance does not contact the rooting membrane.
 Missenti, Married Field High Density Congruption

- Account of the Wedge

 Spacing Window

 Missaid: Bifful High Density Coppymer Polymopylens, Bison #3-PP-2025.

 Contains 20% post-industrial resycled material.

2.5 BASE PADS

- Model FIB: Pedestal base pad for use on moting and waterproofing installabons over time density loss.

 Provides a large 12 x 12 x 19/16 inch (305mm x 205mm x 17.5mm) base bearing surface.

 Materials:

 - Base Part, Milaral Fined High Density Copolymer Polysropylane, Bison #8-PP-2025, Contains 20% post-industrial recycled material Base Park, Geberand Metal, Contains 37.2% past-consumer recycled material 55.2% state some rispla descent. ð.

26 JOIST TOP

- Model JT: Prefestal excessory to construct joist and plack decial, Accummodates 2 x and 4 x joss 1. Adds 3/16 acm (4.5mm) in halpts. Chastes a base bearing surface for joist installation. 2. Motorial Polypropylene Brom PR-PP-2025.

PART 3 EXECUTION

3.1 EXAMINATION

horids

- A. Verify all elevations, required pedestal heights. Insulation density, and deck dimensions before common
- To al.

 Do not begin installation settl substance flows been proposely proposed.

 The outbodies surface that will excelve the production must be well-contracted (on grade) and whences the production contraction of the cont
- The statement mouth by clean and need or prosecution on a service of the particular or the ordinary or particular or the ordinary segment in the particular or the ordinary segment of the particular ordinary ordinary ordinary ordinary ordinary properties properties particular process Contraction, or Project Managing of unsatisfactory properties before proceeding. C It substra

Store and dispose of solvent-based materials such as construction adherive, and materials used with solvent-based materials, in accordance with requirements of local authorities having jurisdiction.

16 PROJECT CONDITIONS

- There are no pedestal installation temporature restriction quidelines other than two practical considerations of
- working in any unsafe condition or inclament weather. Pedestals specified are for pedestrian traffic only.

- Pediatric profession for production million cay.

 Fediatric profession for procession million cay.

 Decision must be restitated by promote blacking or walls on all sees including lon-ground installations. Lossed upon present present on an example of the seed of this base of a far many law unacceptable and on the subject to depiction.

 It is nevermented that the disk subsidies less or parties all about the entangencing, imaged flashing, never course flashing, indeed an about nature the experience of the dept course and broaded which the specified of the dept course and broaded with the specified of the dept course in the course flashing. Indeed, make the pre-fediated of bloomed reconstant by the seconds.
- specifier.

 D. Heavy Roof Top and Flat Bottom Festimes require individual support in addition to the dock pedestal system. A maintenant on a adultanal posterial support must be installed for every 500 bb. (or profito better of state loading. These antifibral support pressure must be installed circum; and the decking and every spaced immediately below the feature locations. One additional professer must be profit and every spaced immediately below the feature locations. One additional professer must be profit to profit the second immediately below the feature locations.

- and early security medically their the feature legistry. One additional profession must be placed under early characteristics of the control of the control of the control of the control of the comparts of point feeling.

 All closes such as objected in microacout the disagn capacity of the protessal.

 The solutions immediately below the protessals shall provide positive disalogs.

 Read systems must not book belonging one be the accordance with the RMCA recommended pood construction produces. Only configuration productions appeared systems static be used.

 In secondarized the offset of 24 to 8 and inside all feeling in resolutions be used as a separate productive sign sheet conversals each podessal.
- were undermeann each pedestal.

 Pedestals must be supported by a surface that provides 40 psi bearing capacity. Monthmess installed over-rigid insulation tossed bypostly incorporate 20 psi overally insulation which sequence adolered support for advantablent before and Annual Conference of Annual Conference and Annual Conference of Annual Conf

 - region analysis country incorprise or per century entaining metan sequence subject for designate back design of 40 pc.

 Supposed methods to accomplete the entaining and methods supposed country and a temporation and effect the Copy Baving Processine Light including separations that can far a region by producting supposed processing and an artificial supposed production and purpose matalasis in product in commany formed as a third disease to extend playing supposed purposed producting the consessing producting and the production of the production of become forward in the production of the production of the production of production of become forward in the production of the pro
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- Exacution was in an exercision issue of 3 interfer once, treat, sign or cents, cases one sign in plant) and sould confirm the process of the sign of the sign of the sign of the sign of the based deachdard to proceed support for the proceeding system.
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- RREADY

 All project observed and upon request, Bisken predicables can provide to that Genetic or Oraneon Representativities, an executed copy of the manufacturities standard document confilling the latens, conditions and financiates of that fill individe section against instructioning indicate for a practical file in 13) years.

 The Consentair washes better by each set it manuface from decide to other and extraordisciplination used on consequence with its section as exeminates better the General Conditions for this other one of the production of the section to exeminate as the 150 years.

 All its time proposable of the Conditions endings for packed fill and its sections to contribute assumbly requirements with any related sections as adjacent work. Ready the Architect into editionly of any potential between the contributions of indications in washing consequence.

 For one with materiated consequence qualifications are supported to consequence of the sections of consequence of the sections of

3.2 PREPARATION

- Reference Installation Details documentation for recommended preparati
 Estantish accurate lines, levels and pattern as per detailston instructions.

3.3 INSTALLATION

- Accordance in the Committee of the Commi

3.4 PEDESTAL ADJUSTMENT

- come, nucleor intervi-Entire proposatio have been enimendized justed for reduing, waterin, or in-level parties part in selectional completion. Reduction manufacturer institution Dotalla descendation for objectional procedures such as shimming a processal or organized the slope componitation on the protects.

3.5 FIELD CLIALITY CONTROL

- 2 CALLET FOOTBOOL

 Moring installation
 Indirect controlled in agrees requality to exceed grid lates account as being martituded in a distingly
 instance controlled in agrees and deals, panels or phens are here and not pocking, after an expand
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- Introducting Following Institution. This Owner, or the Owner's Agent, small carefully inspect the door system overly.

 The new door is blocked on all sides to contain the surface decking and rotated components.

 The new door is blocked on all sides to contain the surface decking and rotated components.

 The new door is blocked on all sides to the components of the control of a firm of paying between any door parts and other about the firm of paying between any door for the paying the sides to the sides of the components of the control of th

- rovernent Enterlying inlact and structurally sound permetric confizinment, iplacing damagad surface films, payors, or podestala.

PROPOSITION AS

AWARHING: This product can expose you to charactis including carbon black, which are known to the State of California to cause cancer. For more information go to ware P65/Yamaya.ca.gov.

END OF SECTION

F. Dock must be installed according to specifical ansign variantly is vaided

1.5 MANUFACTURERS

urnovi Uruse. Auspidale Pedend Spiters Man-Audeuer, Bisse Innovière Products, 701 Ouige Street, Unit 120, Dunner, CO 88206. Tali Free BC-1334-4234 Phoner, 303-620-6405 Fact 303-625-5188 Email: indigitation promise Web www.docrup.com.

PART 2 PRODUCTS

- VERSADJUST ADJUSTABLE PEDESTALS
 Typical Height Range 2 N 24 instrus (85 instrus with bracking), Weight Boaring 1259 its speciesful (FR:3); Made in the U.S.A.
 - V-Senes Base Model General Pedestri Detail

 - softeral Protestral Leaves:

 a. Load Capacy, Makember 1950 Brs. (507 kg) per pedestal with a Safaty Factor of 3 (FS.3),
 b. Marstelf Mineral Fixed High Density Coopymer Polyprophisme, Bisson 98-PP 2025.
 c. Contries 20% post-messative recycled materials.
 - 2. Pedestal Base Details

 - If Sies Device 1 Section (20) mm) diameter x 916 (on (4.75mm) top well biokness.

 Beering Surken Aver. 90.3 in (7.55 mm).

 Beering Surken Aver. 90.3 in (7.55 mm).

 Sin (6) 12 pen (1.5mm) diameter between to uranizupa andre 189.PEGS.

 Includes a Nickel VB Integral Boro Levelor Disk (not and separately) that compressives for 0" to

 - C. Sai (9) 12 Part (1 ferm) Cameric hose is to carbaya and/or BB-PECS.

 In brokes a Madel VI Villerougni Bern Lowder Disk hand and separately final composity.

 I for final little of the carbon of

22 COM HEIGHT PEOESTALS

- 8. Mindel LO 1 W to 2 Inches (32mgets 5 tops a solect 3/18 Inch or 1/8 Inch Spacer Tabs

 - 1 % to 2 hinter (Chimpton Syppes, paners as to results in the paners of the Policy Systems of the Policy Systems (Policy Systems Systems (Policy Systems Syste
- revision and union.

 3. Sirc 17 Più binches (200men) diometra x 3/16 inun (4.75mm) top wait thickness.

 b. Braning Surface Arina. 48.7 in (314 cm)

 c. Four (4) Xi inch (13mm) diameter holes for corinage.

BISON VERSADJUST PEDESTAL PRODUCT LINE

Description

Arkartalija Zamanaji

Range

212 234 37.15 × 153×16

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Country of the countr

Notes

- Chicken			7 1 7 V Aug Di		
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BOND WORTHINGTON ARCHITECT 110A INMAN ST CAMBRIDGE MA 02139



1154 WASHINGTON ST BOSTON MA 02118

No. Description Date

Date 12-10-20

ROOF DECK PEDESTAL SPECIFICATIONS

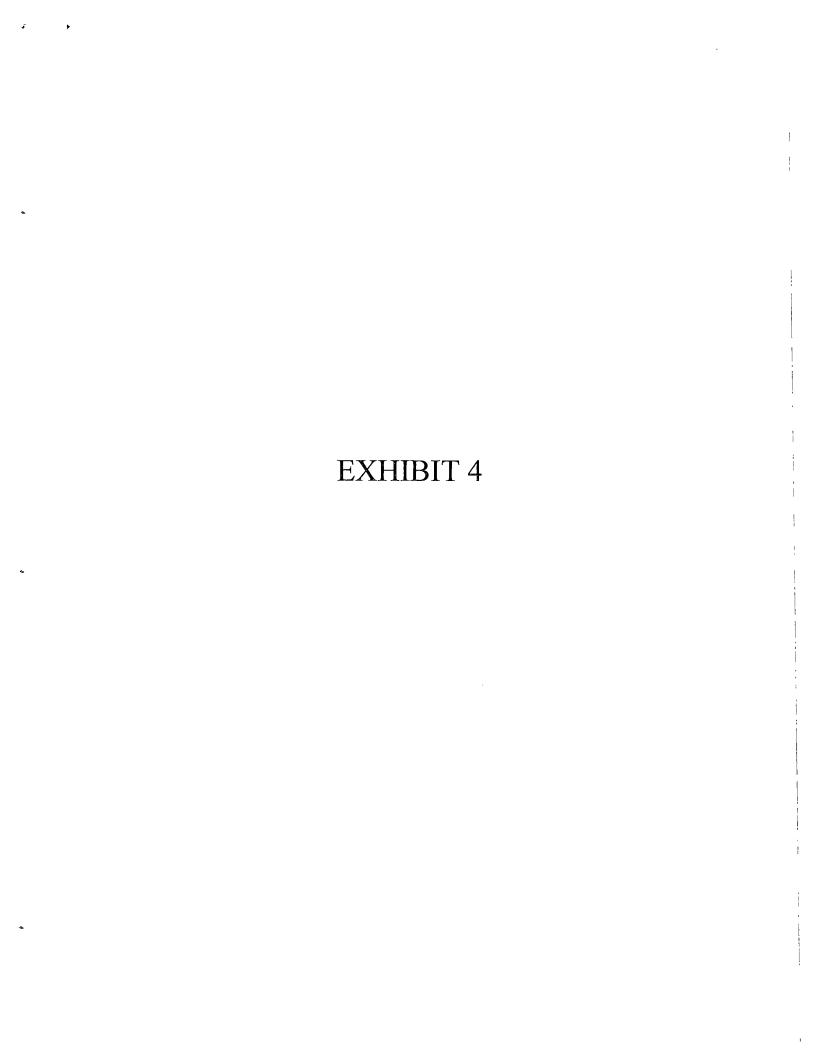
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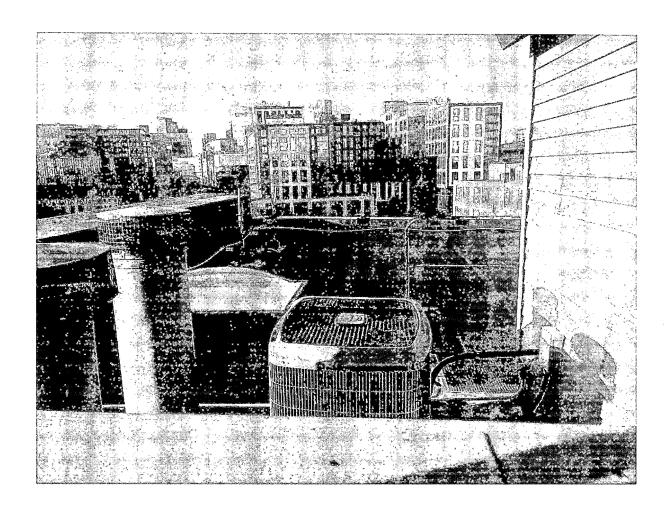
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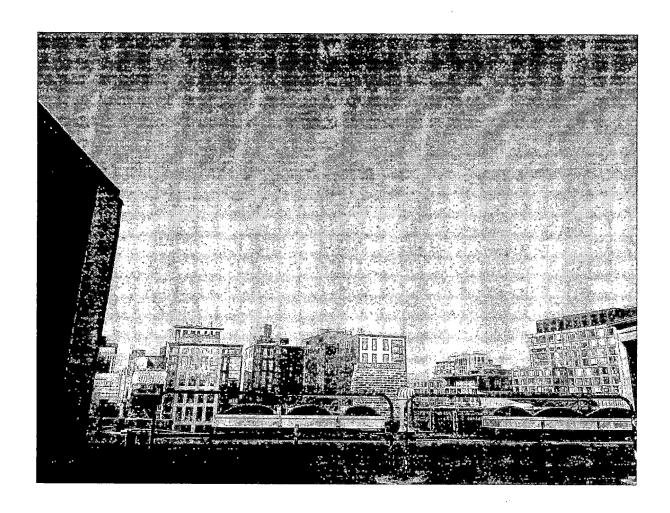
Spain, Station Ban





View from Rudisch Patio





View from Rudisch Living Room

